

DIAGRAM A

Contour Interval : 0.5m

SCALE 1:300 (A2)

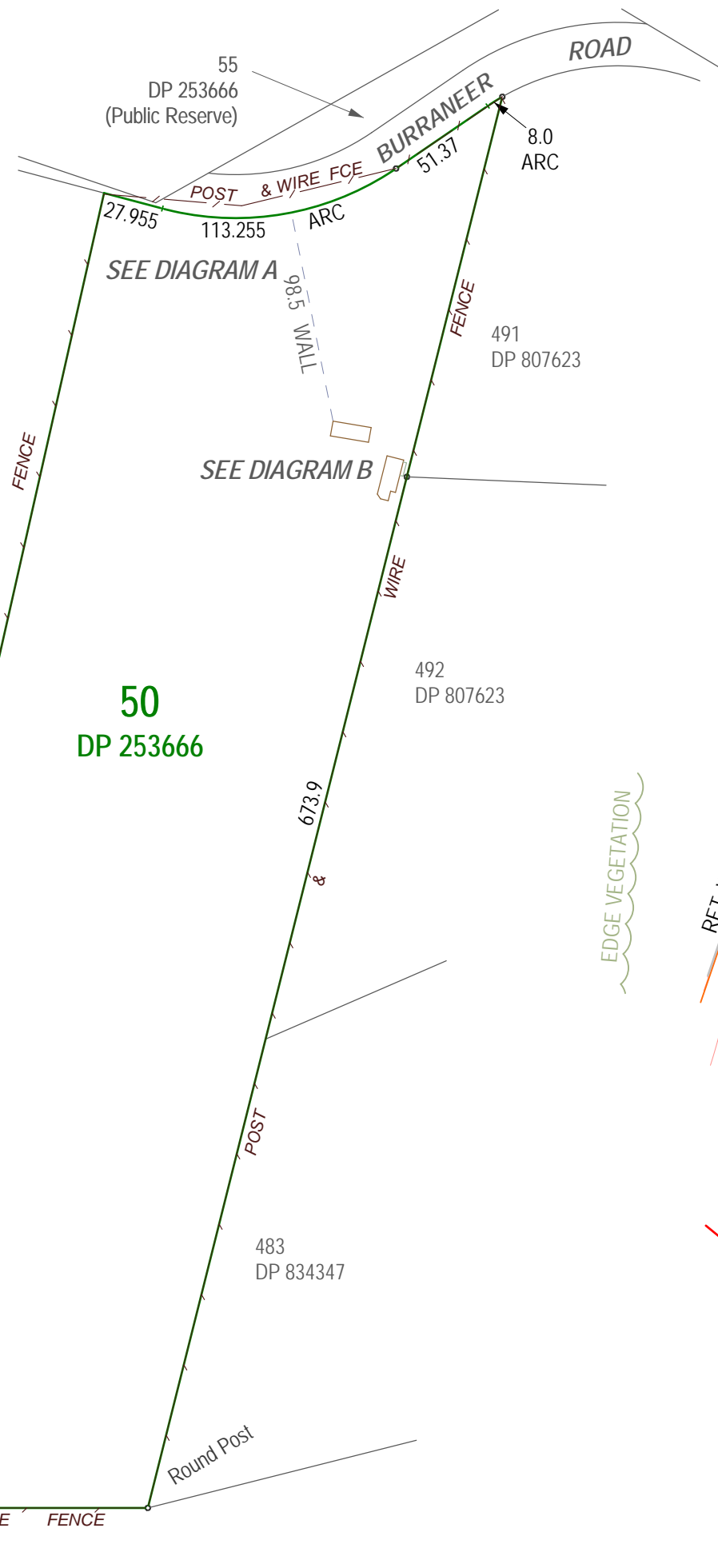
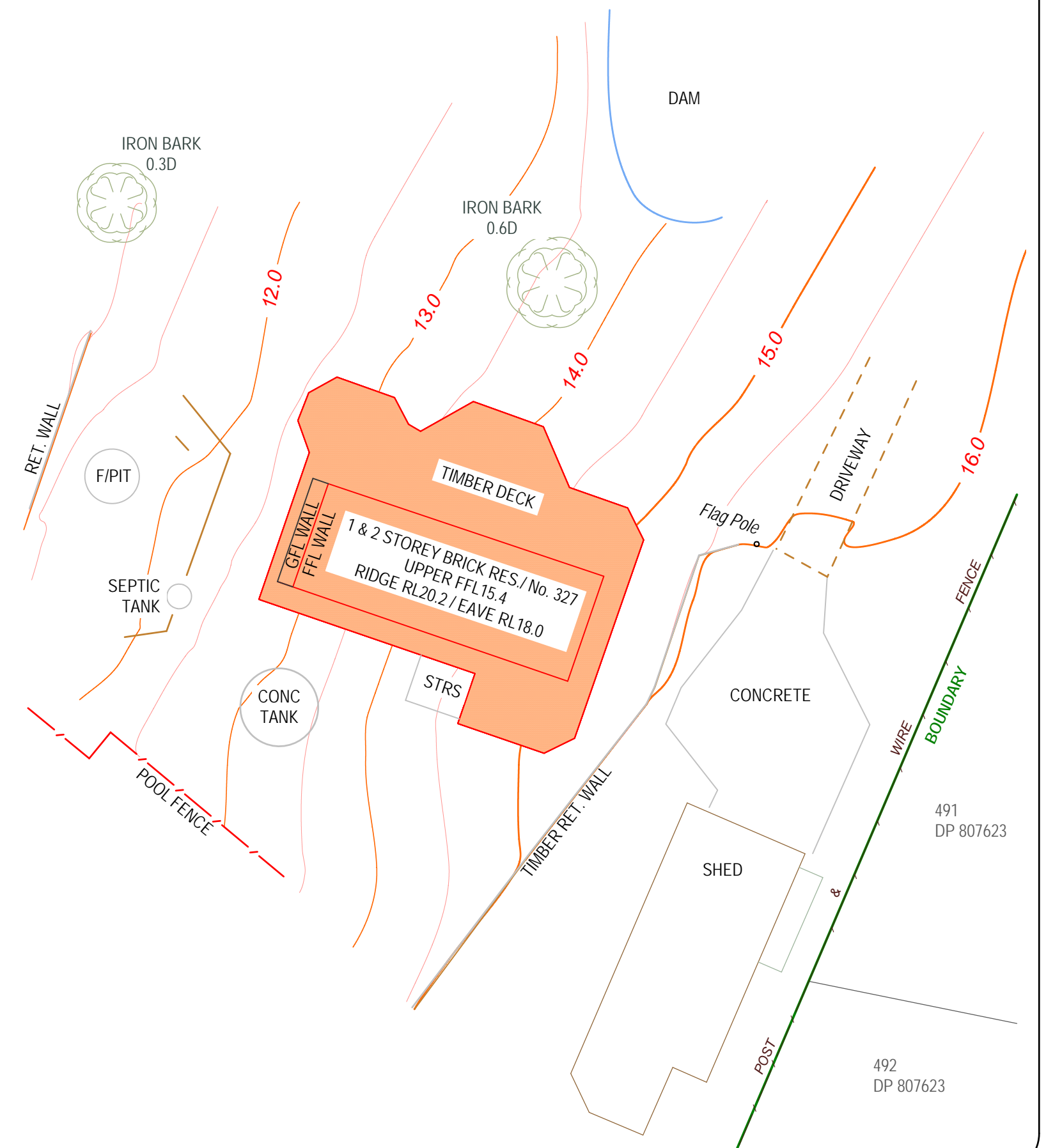


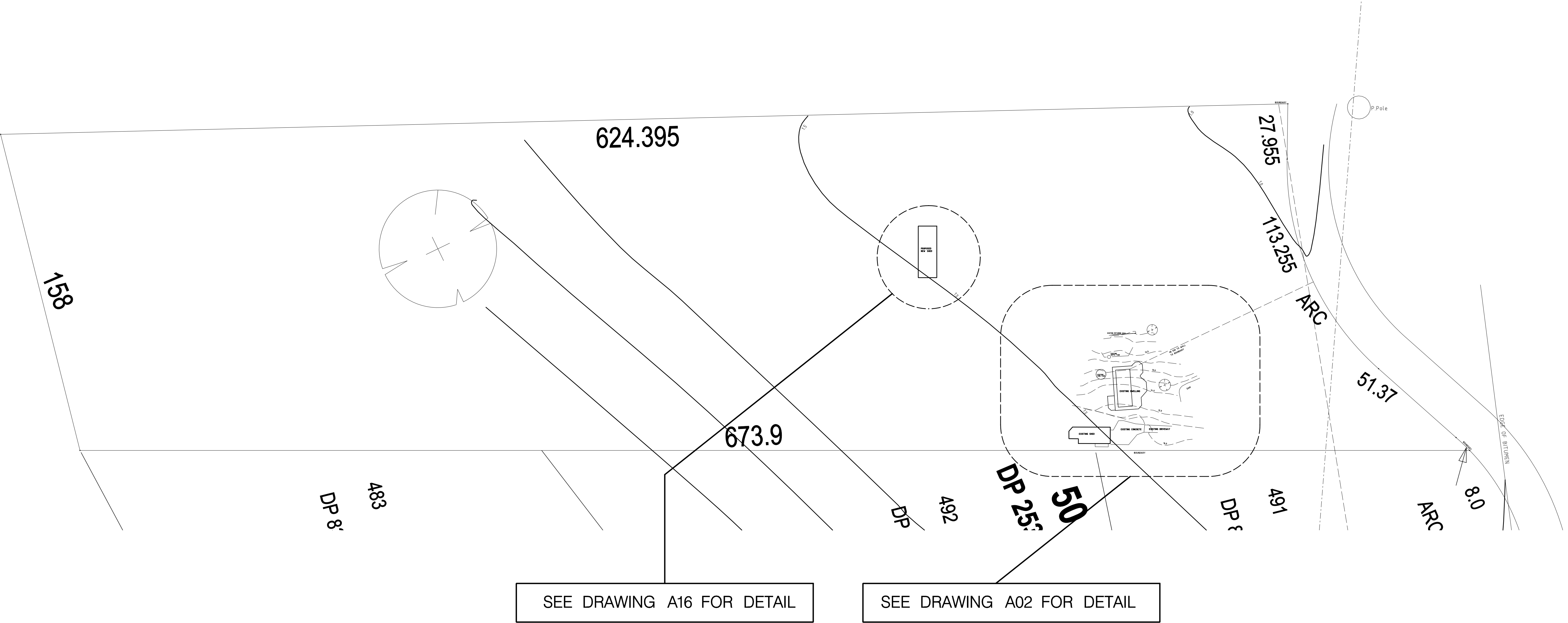
DIAGRAM B

Contour Interval : 0.5m

SCALE 1:300 (A2)



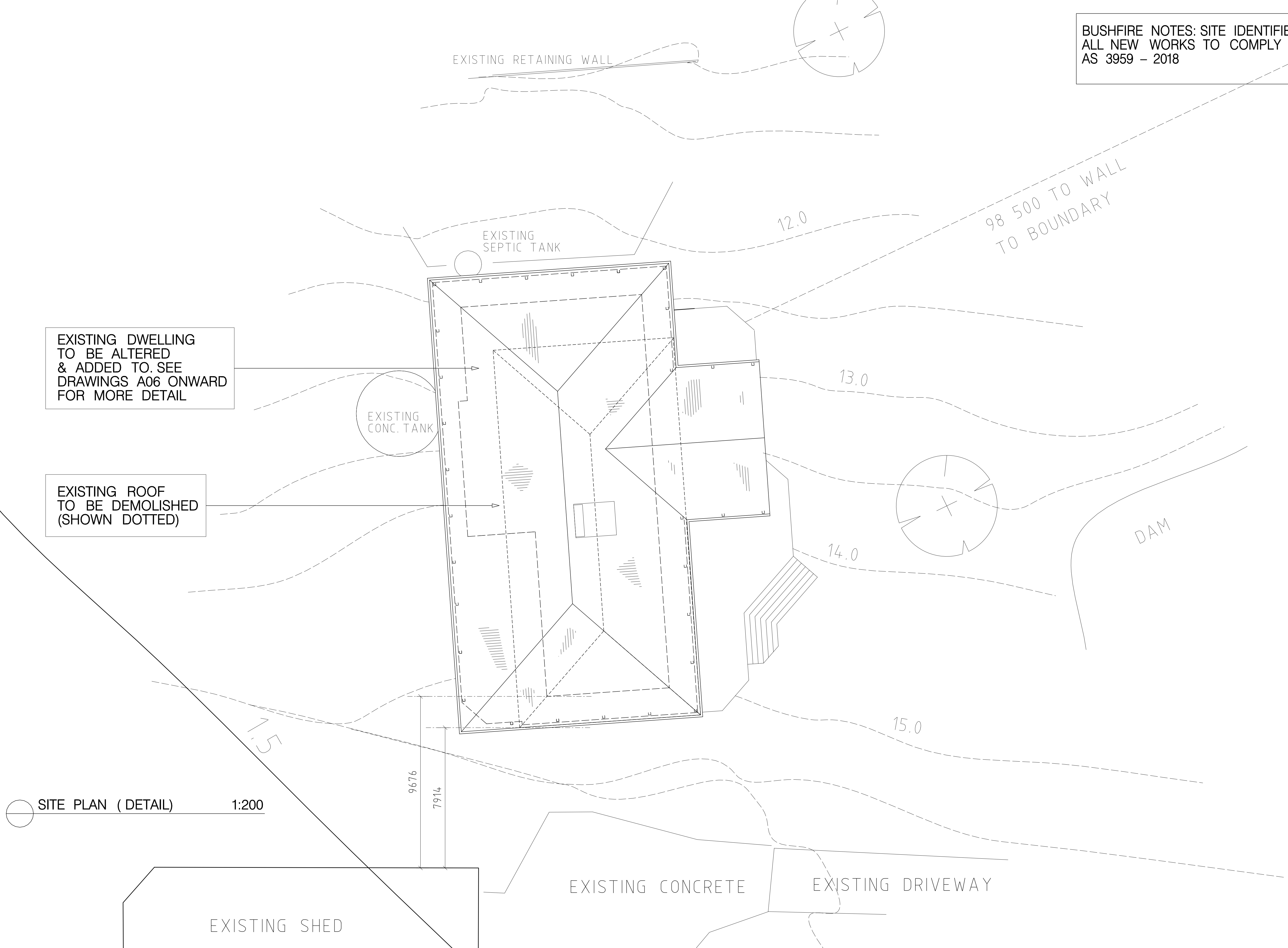
BUSHFIRE NOTES: SITE IDENTIFIED AS BAL-29.
ALL NEW WORKS TO COMPLY WITH NCC &
AS 3959 – 2018



SITE PLAN 1:2000

AMENDMENTS	A	DISCLAIMER THIS DRAWING & ITS DESIGN ARE COPYRIGHT AND REMAIN THE PROPERTY OF THE AUTHOR. THIS DRAWING AND/OR DESIGN CAN NOT BE REPRODUCED, COPIED OR CHANGED WITHOUT THE PERMISSION OF THE AUTHOR. DO NOT SCALE OF DRAWINGS. ALL MEASUREMENTS & LEVELS TO BE CHECKED & VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORKS.	GENERAL NOTES ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE, AND ALL RELEVANT AUSTRALIAN STANDARDS AND CODES. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL THE OTHER COMPONENTS OF THE APPLICATION INCLUDING: - ARCHITECTURAL SPECIFICATION - BASIX CERTIFICATE - STRUCTURAL ENGINEERING PLANS & SPECIFICATIONS - STORMWATER DRAINAGE PLAN & HYDRAULIC CERTIFICATE AND SPECIFICATION	LEGEND EX. WALLS TO BE DEMOLISHED SMOKE DETECTOR DOWNPIPE FLOOR WASTE LWR GROUND 160mm AFS WALL+ 35mm cavity 50mm EPS CLADDING GROUND FLR 120mm AFS WALL+ 35mm cavity 50mm EPS CLADDING 90mm TIMBER FRAME WALL	DESIGN & DOCUMENTATION efficio PROJECTS PO Box 4205 Denistone East, NSW 2112 PH 0430 386 463 Email - info@efficioprojects.com.au ABN - 51 781 42506	PROJECT Lot 50, DP253666 PROPOSED ALTERATIONS & ADDITIONS 327 BURRANEER ROAD COOMBA PARK FOR: MR & MRS D.M CALGARO Drawing Name SITE PLAN	SCALE 1:2000/A3	NORTH POINT 	JOB NO. 2404
							DATE MAR 2024	DRAWING NO. A01	AMEND A

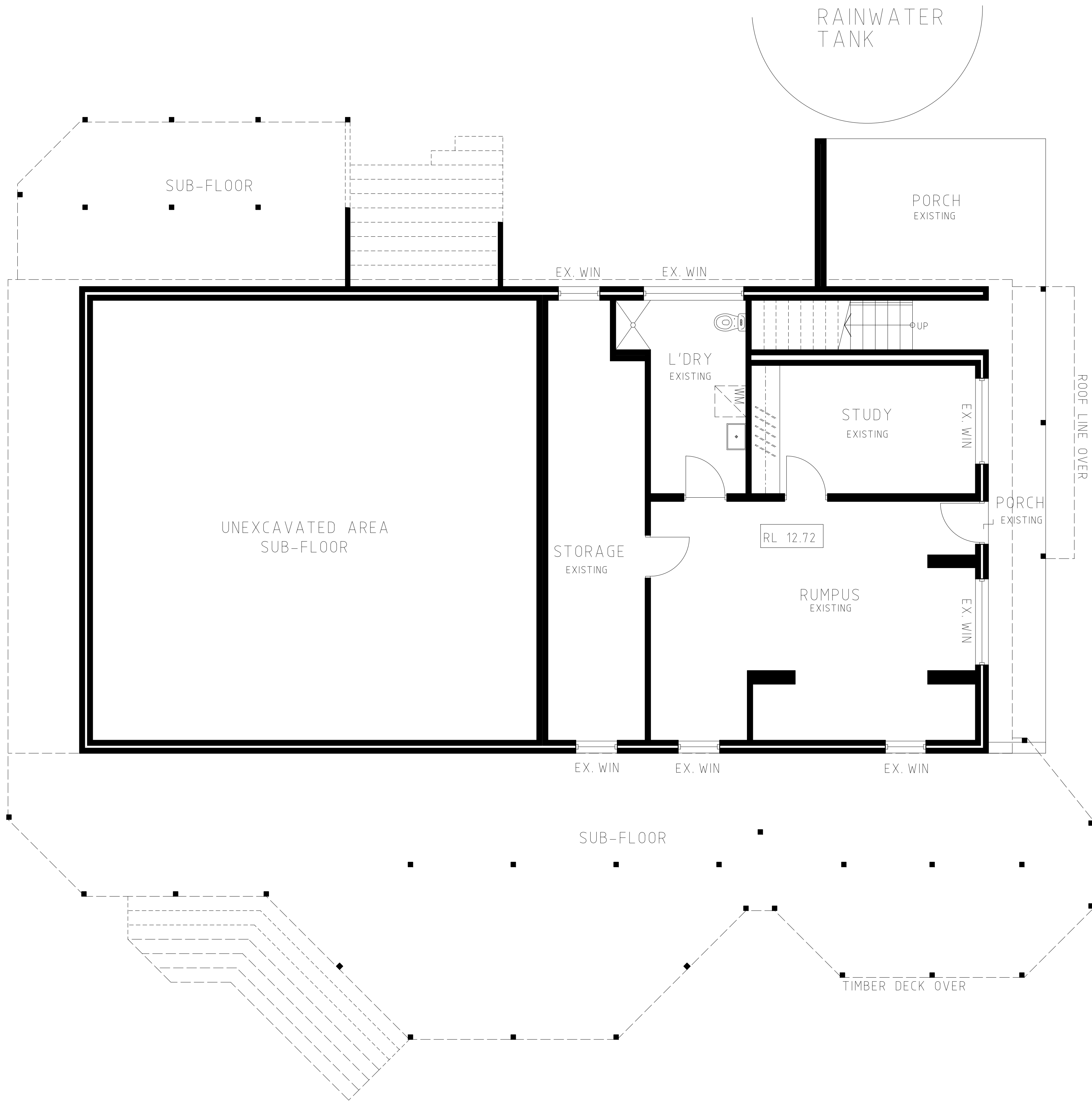
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AMENDMENTS DEVELOPMENT APPLICATION DEC 2024	A	<p>DISCLAIMER THIS DRAWING & ITS DESIGN ARE COPYRIGHT AND REMAIN THE PROPERTY OF THE AUTHOR. THIS DRAWING AND/OR DESIGN CAN NOT BE REPRODUCED, COPIED OR CHANGED WITHOUT THE PERMISSION OF THE AUTHOR.</p> <p>DO NOT SCALE OF DRAWINGS ALL MEASUREMENTS & LEVELS TO BE CHECKED & VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORKS</p>	<p>GENERAL NOTES ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE, AND ALL RELEVANT AUSTRALIAN STANDARDS AND CODES.</p> <p>DRAWINGS ARE TO BE TO BE READ IN CONJUNCTION WITH ALL THE OTHER COMPONENTS OF THE APPLICATION INCLUDING:</p> <ul style="list-style-type: none">- ARCHITECTURAL SPECIFICATION- BASIC CERTIFICATE- STRUCTURAL ENGINEERING PLANS & SPECIFICATIONS- STORMWATER DRAINAGE PLAN & HYDRAULIC CERTIFICATE AND SPECIFICATION	<p>LEGEND</p> <div><div>EX. WALLS</div><div>TO BE DEMOLISHED</div><div>SMOKE DETECTOR</div><div>DOWNPIPE</div><div>FLOOR WASTE</div></div> <div><div>LWR GROUND 160mm AFS WALL+ 35mm cavity 50mm EPS CLADDING</div><div>GROUND FLR 120mm AFS WALL+ 35mm cavity 50mm EPS CLADDING</div><div>90mm TIMBER FRAME WALL</div></div>	<p>DESIGN & DOCUMENTATION</p> <div><div>efficioPROJECTS</div><div>PO Box 4205 Denistone East, NSW 2112 PH 0430 386 463 Email – info@efficioprojects.com.au ABN – 51 781 42506</div></div>	<p>PROJECT Lot 50, DP253666</p> <p>PROPOSED ALTERATIONS & ADDITIONS 327 BURRANEER ROAD COOMBA PARK</p> <p>FOR: MR & MRS D.M CALGARO</p> <p>Drawing Name SITE PLAN (DETAIL)</p>	<p>SCALE 1:200/A3</p> <p>DATE MAR 2024</p>	<p>NORTH POINT</p> <p>DRAWING NO. A02</p>	<p>JOB NO. 2404</p> <p>AMEND A</p>
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EXISTING GROUND FLOOR PLAN 1:100

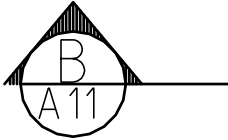


EXISTING LWR GROUND FLOOR PLAN 1:100

AMENDMENTS	DEVELOPMENT DECLARATION DEC 2024	<p>DISCLAIMER</p> <p>ALL WORKS & ITS DESIGN ARE COPYRIGHT AND REMAIN THE PROPERTY OF THE AUTHOR. THIS DRAWING AND/OR DESIGN CAN NOT BE REPRODUCED, COPIED OR CHANGED WITHOUT THE PERMISSION OF THE AUTHOR.</p> <p>DO NOT SCALE OF DRAWINGS. ALL MEASUREMENTS & LEVELS TO BE CHECKED & VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORKS</p>	<p>GENERAL NOTES</p> <p>ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE, AND ALL RELEVANT AUSTRALIAN STANDARDS AND CODES.</p> <p>DRAWINGS ARE TO TO BE READ IN CONJUNCTION WITH ALL THE OTHER COMPONENTS OF THE APPLICATION INCLUDING:</p> <ul style="list-style-type: none">- ARCHITECTURAL SPECIFICATION- BASIX CERTIFICATE- STRUCTURAL ENGINEERING PLANS & SPECIFICATIONS- STORMWATER DRAINAGE PLAN & HYDRAULIC CERTIFICATE AND SPECIFICATION	<p>LEGEND</p> <div><div><div>█</div>EX. WALLS</div><div><div>-----</div>TO BE DEMOLISHED</div><div><div>OS</div>SMOKE DETECTOR</div><div><div>OD,P</div>DOWNPIPE</div><div><div>=====</div>FLOOR WASTE</div></div> <div><div><div><div></div></div>LWR GROUND</div><div><div><div></div></div>160mm AFS WALL+ 25mm cavity 50mm EPS CLADDING</div><div><div><div></div></div>GROUND FLR</div><div><div><div></div></div>120mm AFS WALL+ 50mm EPS CLADDING</div><div><div><div></div></div>90mm TIMBER FRAME WALL</div></div>	<p>DESIGN & DOCUMENTATION</p> <div><div><div><div></div></div><div>efficioPROJECTS</div></div><div>PO Box 4205 Denistone East, NSW 2112 PH 0430 386 463 Email – info@efficioprojects.com.au ABN – 51 781 42506</div></div>	PROJECT	Lot 50, DP253666	SCALE	NORTH POINT	JOB NO.
							PROPOSED ALTERATIONS & ADDITIONS 327 BURRANEER ROAD COOMBA PARK	1:100/A3		2404
	A						FOR: MR & MRS D.M CALGARO	DATE MAR 2024	DRAWING NO. A04	AMEND A

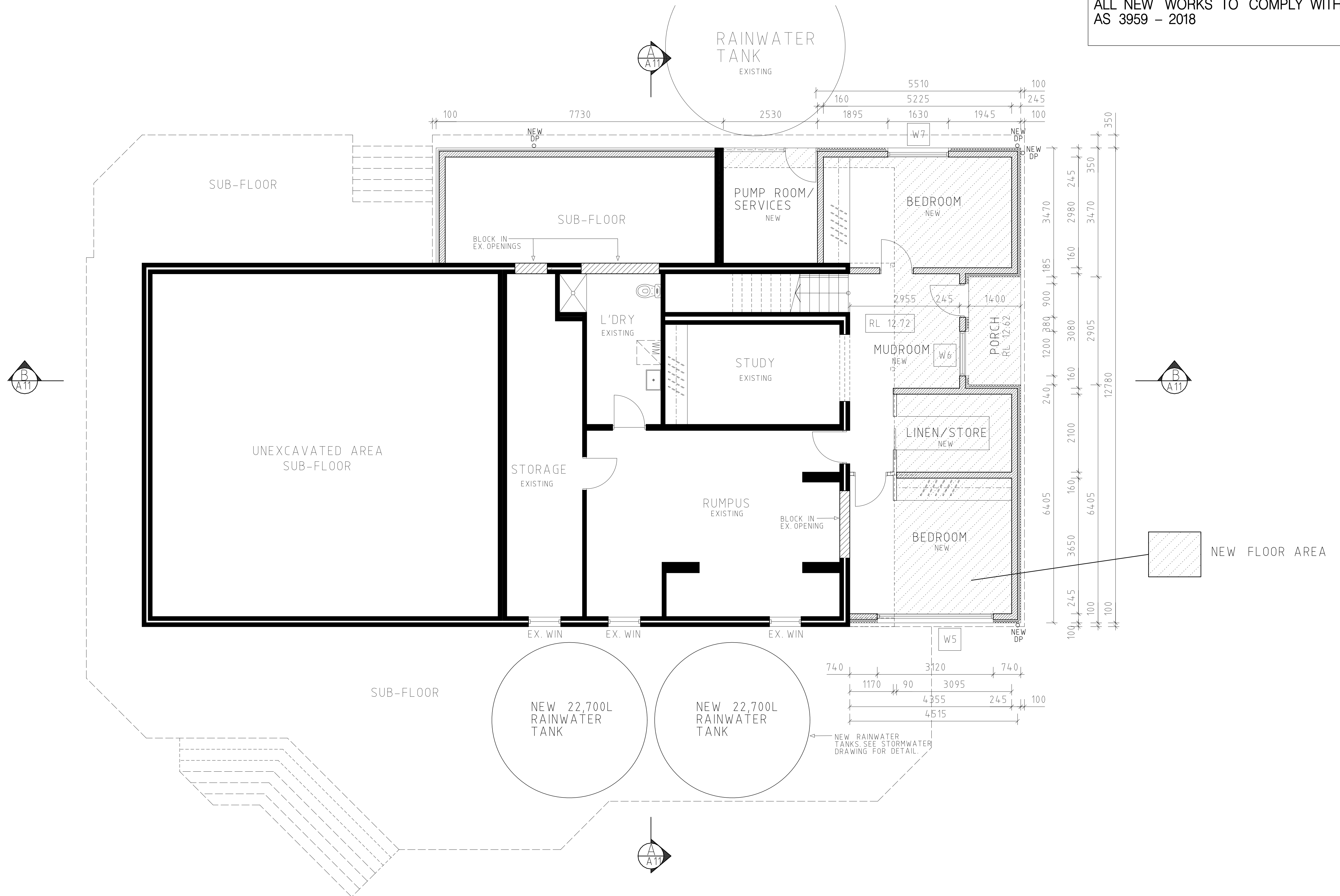
Drawing Name	EXISTING LWR GROUND FLOOR PLAN
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BUSHFIRE NOTES: SITE IDENTIFIED AS BAL-29.
ALL NEW WORKS TO COMPLY WITH NCC &
AS 3959 – 2018



PROPOSED LWR GROUND FLOOR PLAN 1:100

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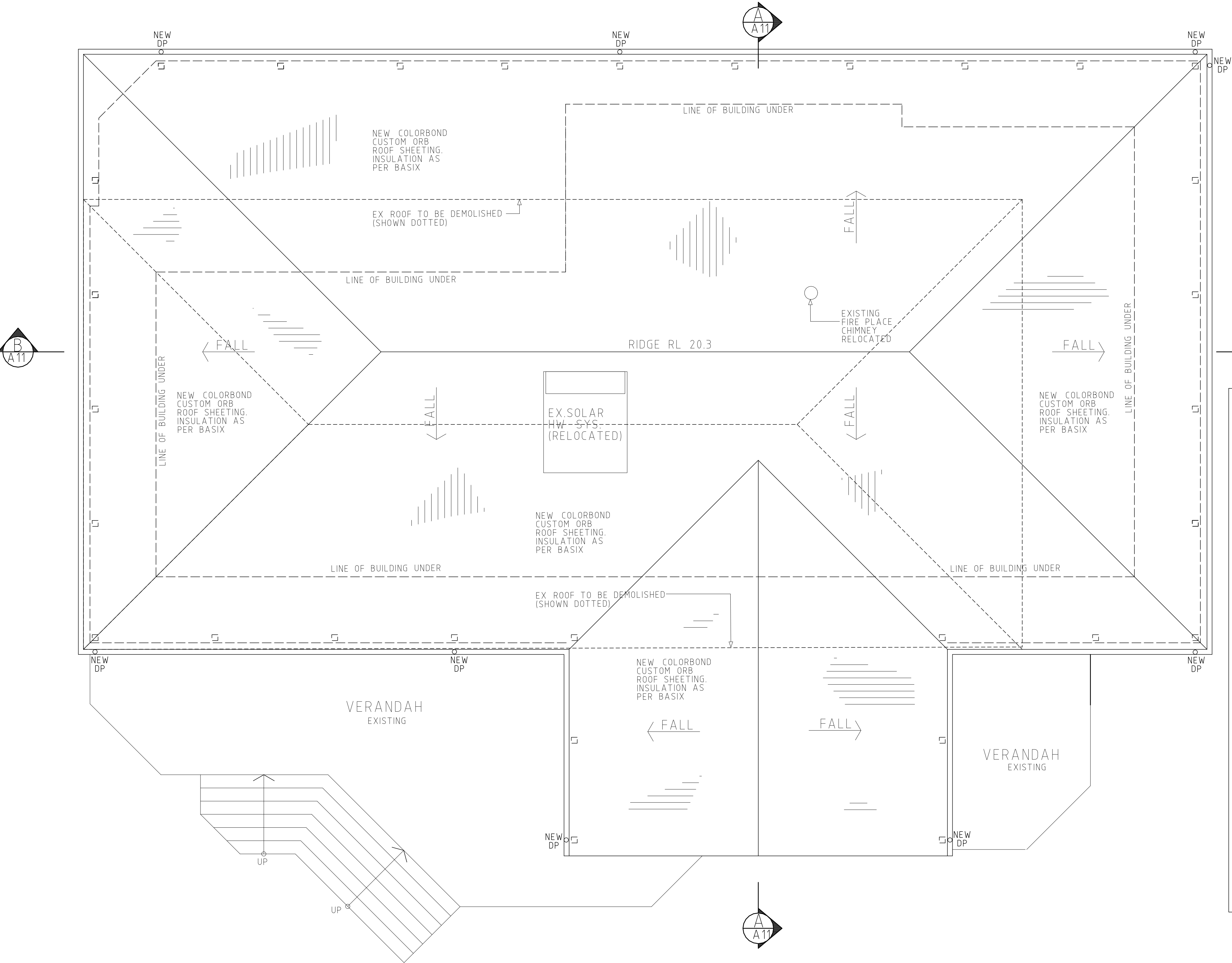
LEGEND	
	EX.FLOOR AREAS
	NEW FLOOR AREAS



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EXISTING ROOF PLAN 1:100



WINDOW SCHEDULE

WIN #	WIDTH (MM)	HEIGHT (MM)	TYPE	GLAZING	GLAZING TYPE (AS PER BASIX)
Ground Floor					
W1	1800	900	Sliding	Clear	Single glazed , timber frame
W2	1600	1800	Louvre	Clear	Single glazed , timber frame
W3	900	1800	Louvre	Clear	Single glazed , timber frame
W4	1800	600	Sliding	Clear	Single glazed , timber frame
W8	4000	1300	Fixed	Clear	Single glazed Low-e, timber frame
W9	4000	1300	Fixed	Clear	Single glazed Low-e, timber frame
Lower Ground Floor					
W5	3100	2100	Sliding Door	Clear	single glazed , aluminium frame
W6	1200	1200	Sliding	Clear	single glazed , aluminium frame
W7	1600	1200	Sliding	Clear	single glazed , aluminium frame

BASIX COMMITMENTS

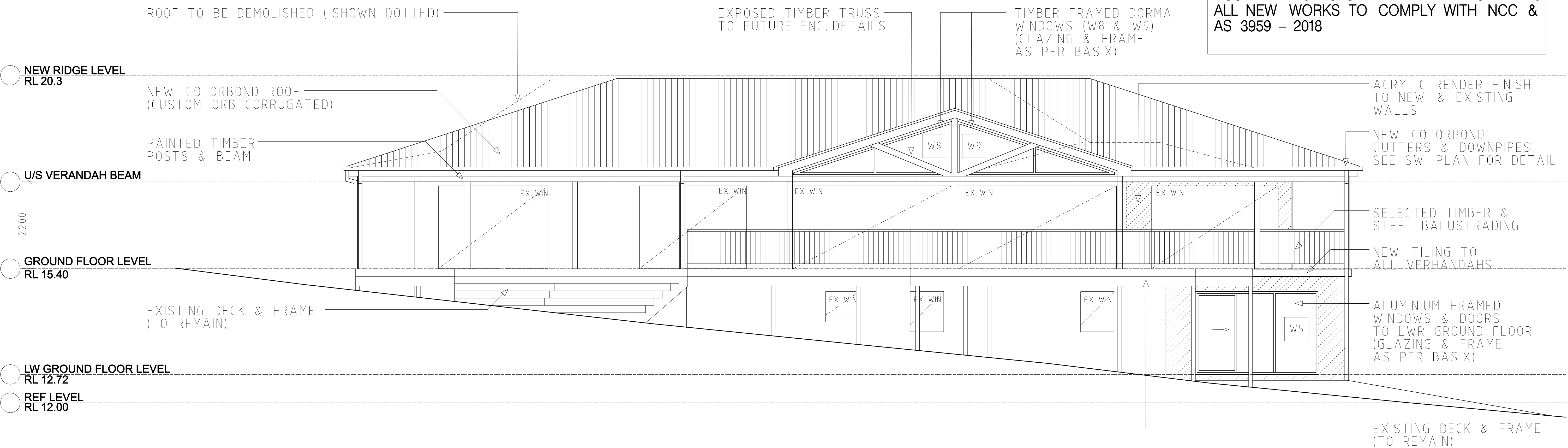
Fixtures and Systems		
Lighting		
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or lightemitting-diode (LED) lamps.		
Construction		
Insulation Requirements		
Construction	Additional Insulation required (R-Value)	Other Specifications
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	n/a
floor above existing dwelling or building	nil	n/a
external wall: concrete panel/ plasterboard 160mm	R1.38 (or R1.70 including construction)	n/a
external wall: concrete panel/ plasterboard 120mm	R1.41 (or R1.70 including construction)	n/a
flat ceiling, pitched/pitched roof:framed	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	dark(solar absorptance > 0.70)
Glazing Requirements		
Windows and Glazed Doors		
As per window schedule and basix certificate		

PROPOSED ROOF PLAN

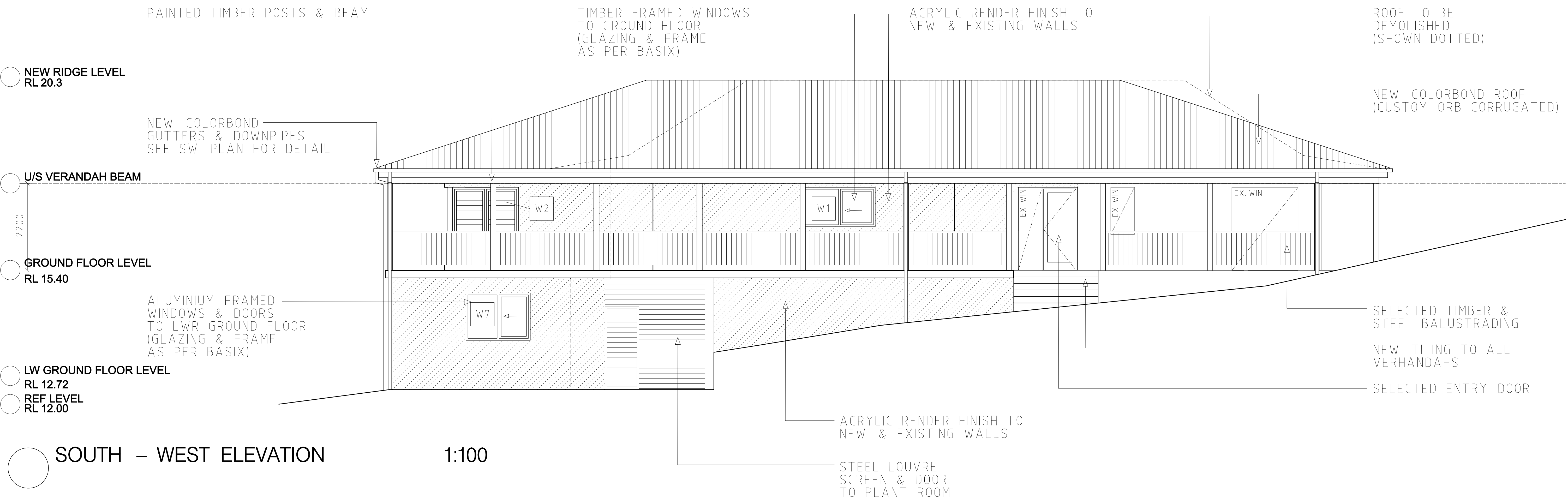
1:100

BUSHFIRE NOTES: SITE IDENTIFIED AS BAL-29. ALL NEW WORKS TO COMPLY WITH NCC & AS 3959 – 2018

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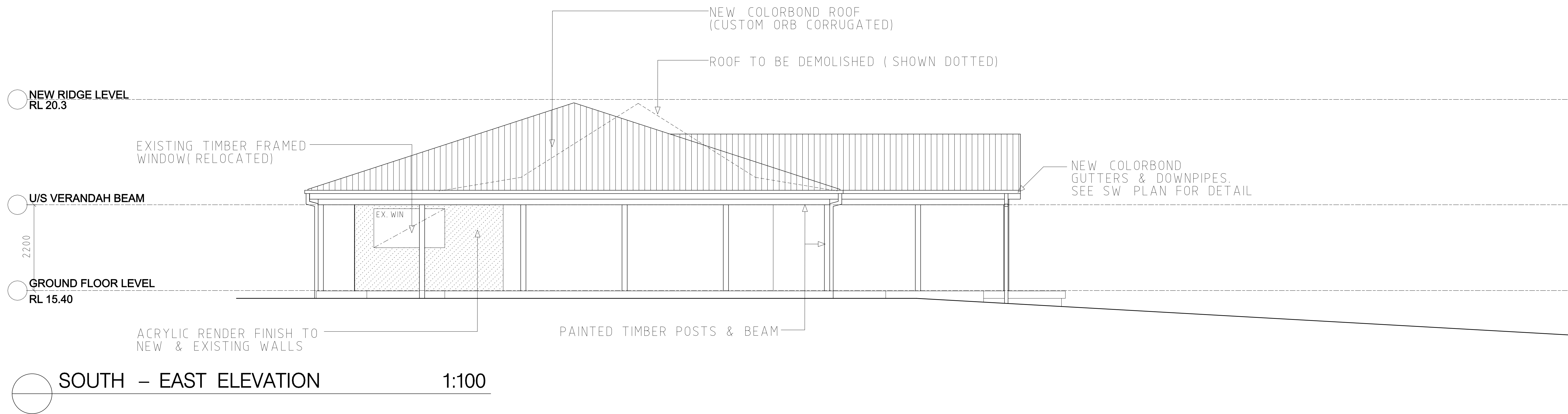
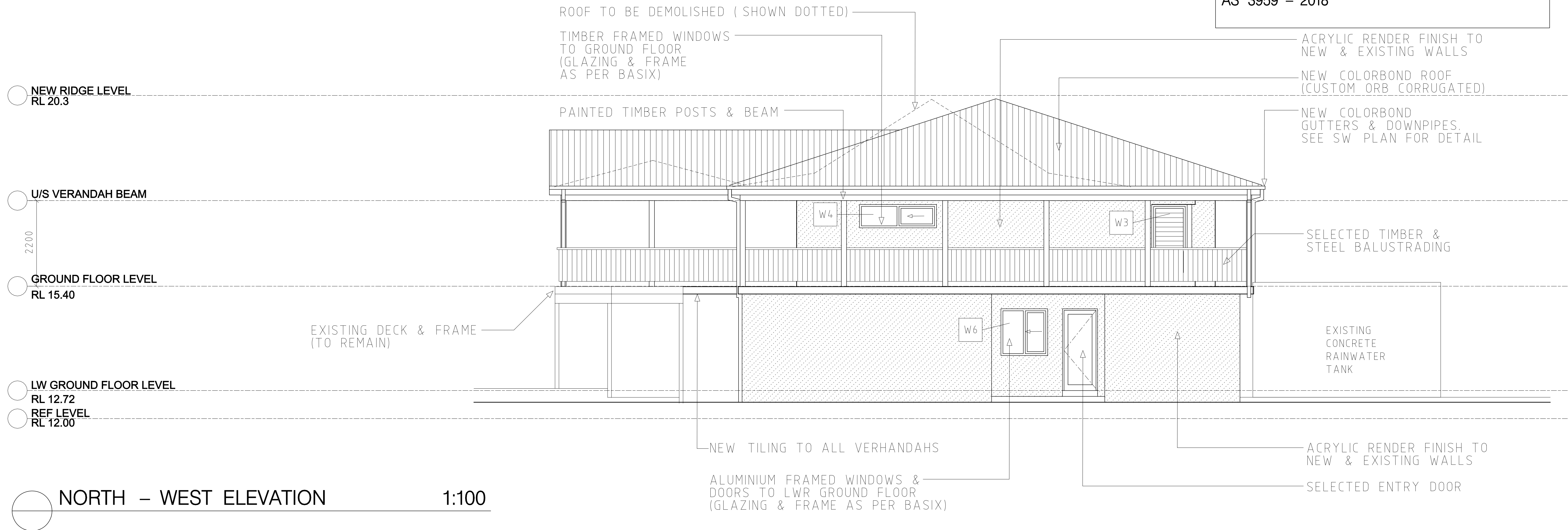
 NORTH – EAST ELEVATION 1:100



 SOUTH - WEST ELEVATION 1:100

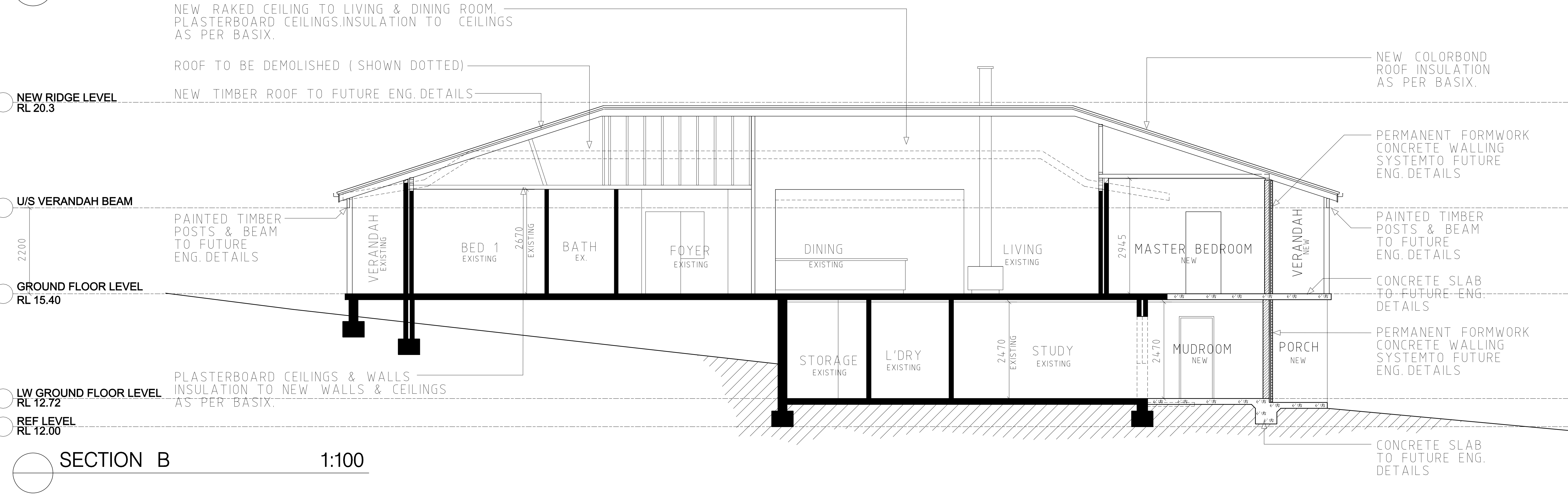
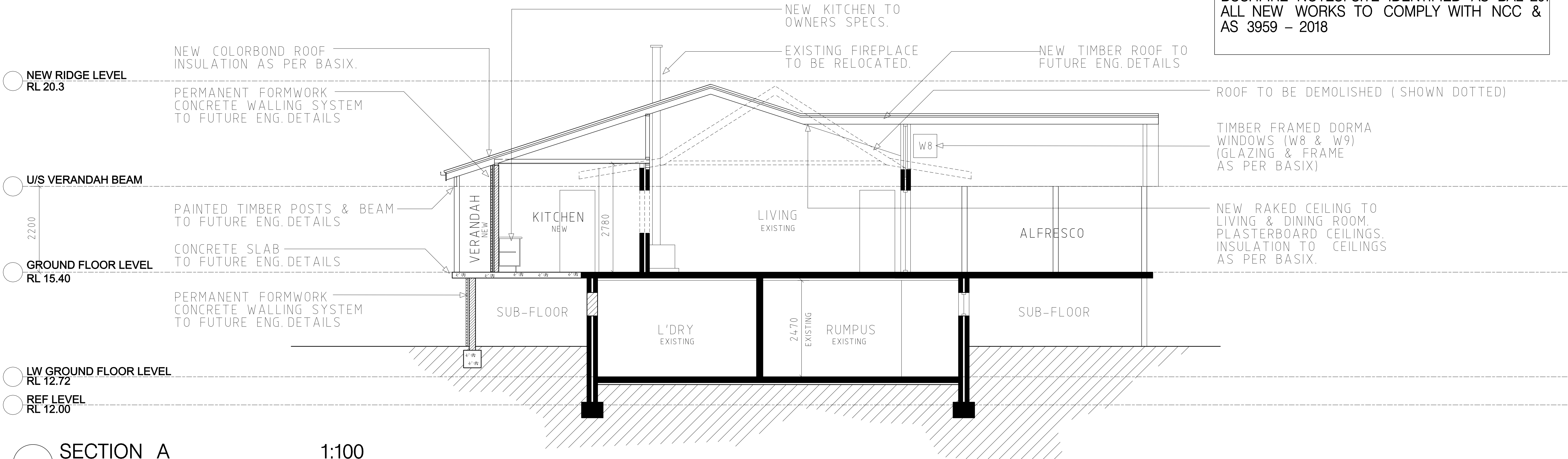
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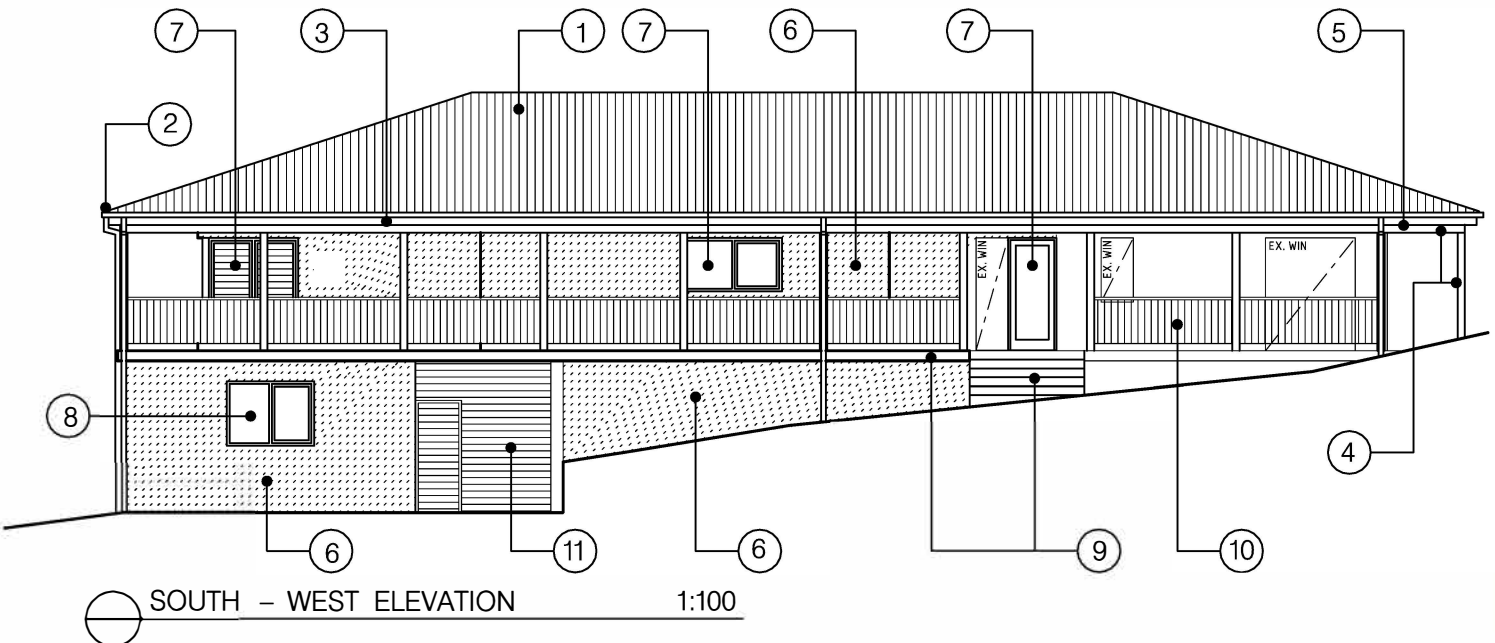
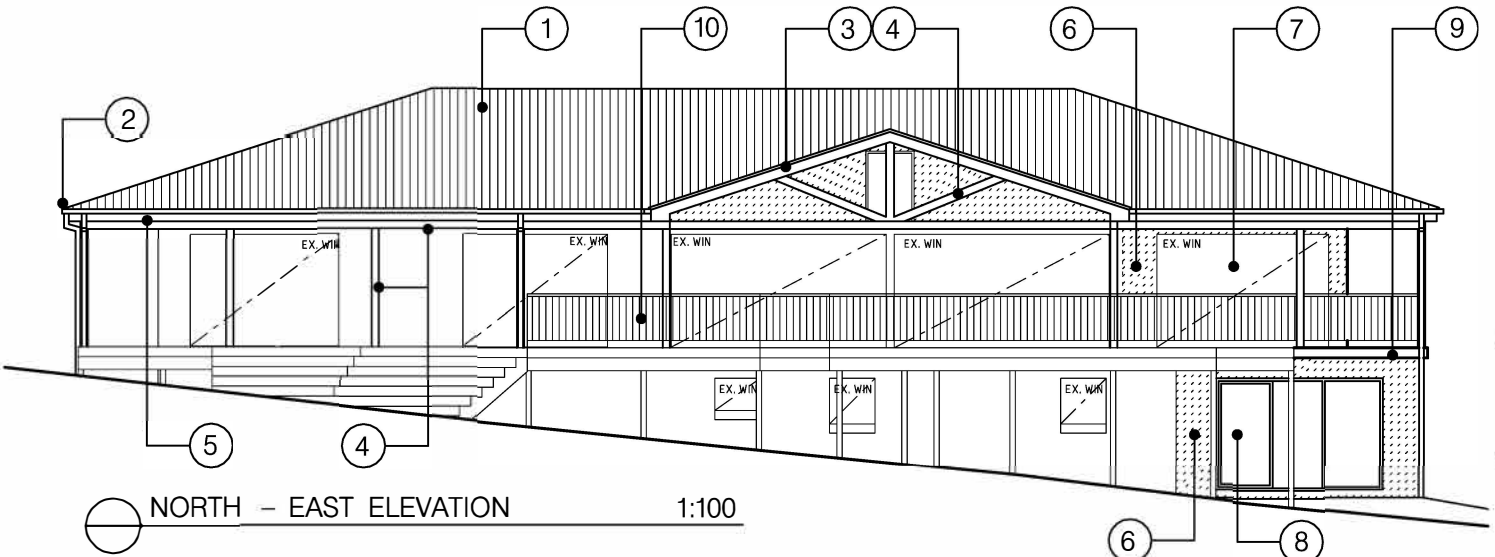


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1. ROOF SHEETING
MATERIAL : COLORBOND CUSTOM ORB CORRUGATED
COLOUR : SHALE GREY

2. GUTTERS & DOWNPIPES
MATERIAL : COLOURBOND STEEL "QUAD" GUTTER, PVC DOWNPIPES
COLOUR: BASALT

3.FACIAS & BARGE BOARDS
MATERIAL : COLOURBOND STEEL
COLOUR: BASALT

4. POSTS & TRIMWORK
MATERIAL : TIMBER
COLOUR: BASALT

5.EAVES & SOFFITS
MATERIAL : FIBRE CEMENT
COLOUR: WHITE

6. WALLS
MATERIAL : CEMENT RENDER
COLOUR: "HAILSTORM" - PORTERS PAINTS

7. GROUND FLOOR WINDOWS & DOORS
MATERIAL : TIMBER
COLOUR: BASALT

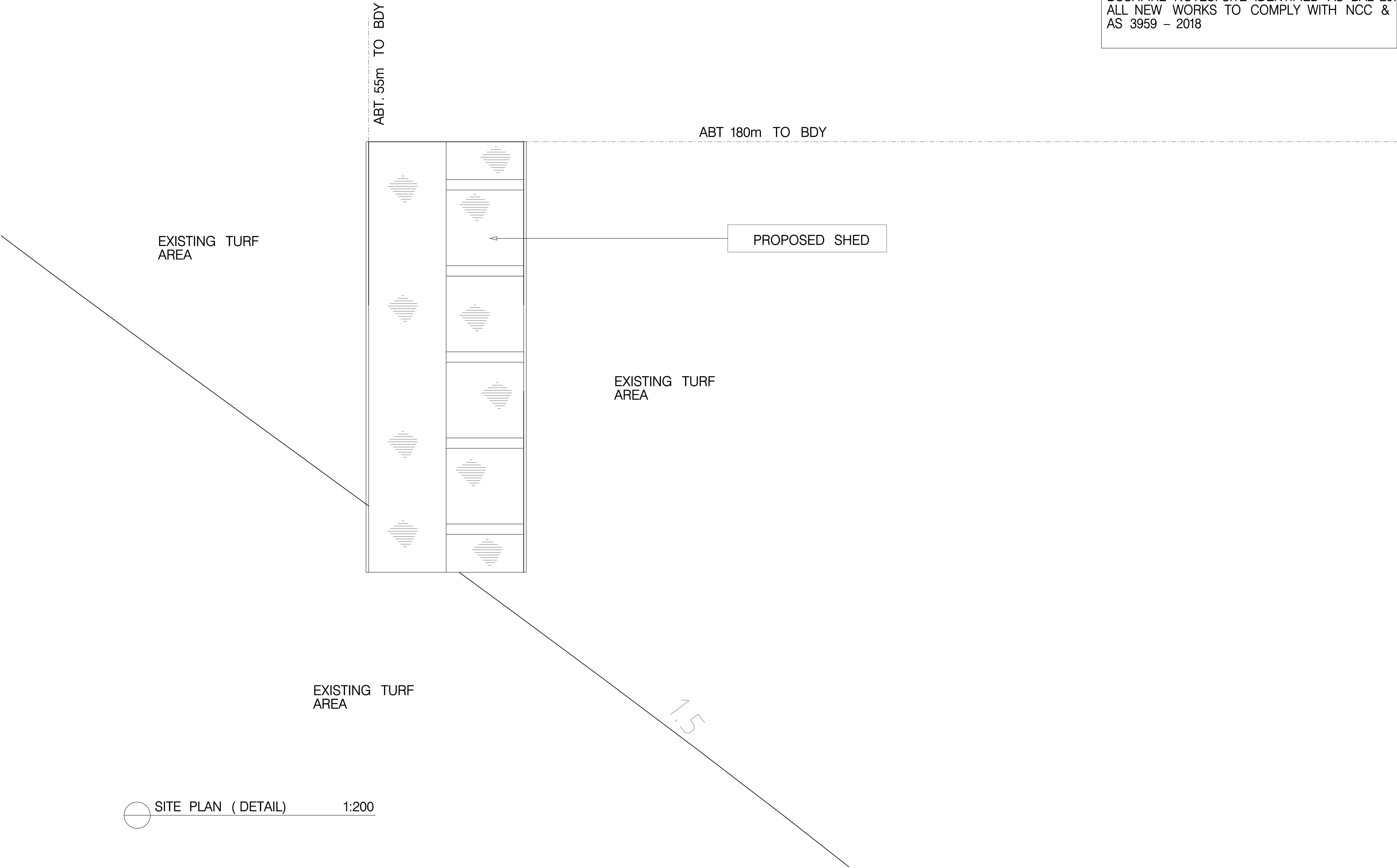
8. LOWER GROUND FLOOR WINDOWS & DOORS
MATERIAL : ALUMINIUM
COLOUR: BASALT

9. FLOORING
MATERIAL : PORCELAIN TILE
COLOUR: GREY CONCRETE

10. BALUSTRADES
MATERIAL : TIMBER TOP & BOTTOM RAIL
COLOUR: NATURAL TIMBER
BALUSTERS - STEEL
COLOUR: BASALT


11. SCREENS
MATERIAL : STEEL
COLOUR: BASALT

BUSHFIRE NOTES: SITE IDENTIFIED AS BAL-29.
ALL NEW WORKS TO COMPLY WITH NCC &
AS 3959 – 2018



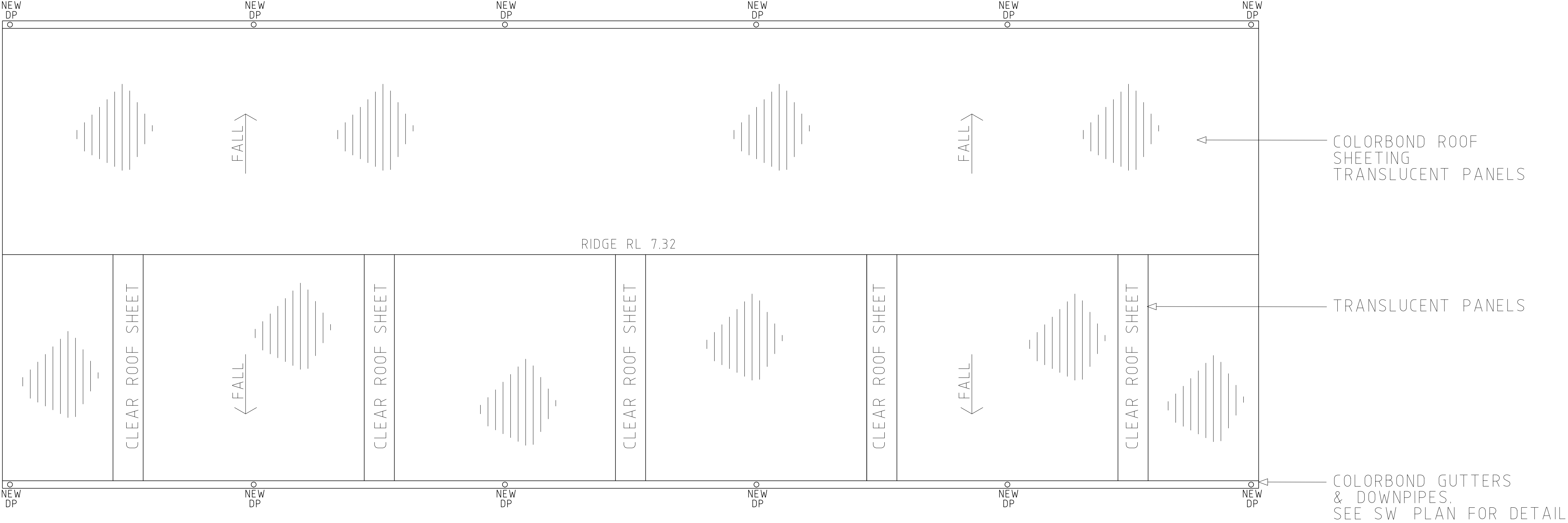
AMENDMENTS	A DEVELOPMENT APPLICATION DEC 2024		DISCLAIMER THIS DRAWING & ITS DESIGN ARE COPYRIGHT AND REMAIN THE PROPERTY OF THE AUTHOR. THIS DRAWING AND/OR DESIGN CAN NOT BE REPRODUCED, COPIED OR CHANGED WITHOUT THE PERMISSION OF THE AUTHOR. DO NOT SCALE OF DRAWINGS. ALL MEASUREMENTS & LEVELS TO BE CHECKED & VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORKS.	GENERAL NOTES ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE, AND ALL RELEVANT AUSTRALIAN STANDARDS AND CODES. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL THE OTHER COMPONENTS OF THE APPLICATION INCLUDING: - ARCHITECTURAL SPECIFICATION - BASIX CERTIFICATE - STRUCTURAL ENGINEERING PLANS & SPECIFICATIONS - STORMWATER DRAINAGE PLAN & HYDRAULIC CERTIFICATE AND SPECIFICATION	LEGEND EX. WALLS TO BE DEMOLISHED SMOKE DETECTOR DOWNPIPE FLOOR WASTE LWR GROUND 160mm AFS WALL+ 35mm cavity 50mm EPS CLADDING GROUND FLR 120mm AFS WALL+ 35mm cavity 50mm EPS CLADDING 90mm TIMBER FRAME WALL	DESIGN & DOCUMENTATION PO Box 4205 Denistone East, NSW 2112 PH 0430 386 463 Email – info@efficioprojects.com.au ABN – 51 781 42506	PROJECT Lot 50, DP253666 PROPOSED ALTERATIONS & ADDITIONS 327 BURRANEER ROAD COOMBA PARK FOR: MR & MRS D.M CALGARO Drawing Name SITE PLAN (DETAIL)	SCALE 1:200/A3 DATE MAR 2024	NORTH POINT DRAWING NO. A16	JOB NO. 2404 AMEND A

BUSHFIRE NOTES: SITE IDENTIFIED AS BAL-29.
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 FLOOR PLAN (SHED) 1:100

AMENDMENTS APPLICATION DEC 2024	A	<p>DISCLAIMER</p> <p>THIS DRAWING & ITS DESIGN ARE COPYRIGHT AND REMAIN THE PROPERTY OF THE AUTHOR. THIS DRAWING AND/OR DESIGN CAN NOT BE REPRODUCED, COPIED OR CHANGED WITHOUT THE PERMISSION OF THE AUTHOR.</p> <p>DO NOT SCALE OF DRAWINGS ALL MEASUREMENTS & LEVELS TO BE CHECKED & VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORKS</p>	<p>GENERAL NOTES</p> <p>ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE, AND ALL RELEVANT AUSTRALIAN STANDARDS AND CODES.</p> <p>DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL THE OTHER COMPONENTS OF THE APPLICATION INCLUDING:</p> <ul style="list-style-type: none">- ARCHITECTURAL SPECIFICATION- BASIC CERTIFICATE- STRUCTURAL ENGINEERING PLANS & SPECIFICATIONS- STORMWATER DRAINAGE PLAN & HYDRAULIC CERTIFICATE AND SPECIFICATION	<p>LEGEND</p> <div><div>EX. WALLS</div><div>TO BE DEMOLISHED</div><div>SMOKE DETECTOR</div><div>DOWNPIPE</div><div>FLOOR WASTE</div></div> <div><div>LWR GROUND 16mm AFS WALL+ 35mm cavity 50mm EPS CLADDING</div><div>GROUND FLR 120mm AFS WALL+ 35mm cavity 50mm EPS CLADDING</div><div>90mm TIMBER FRAME WALL</div></div>	<p>DESIGN & DOCUMENTATION</p> <div><div>efficioPROJECTS</div><div>PO Box 4205 Denistone East, NSW 2112 PH 0430 386 463 Email - info@efficioprojects.com.au ABN - 51 781 42506</div></div>	<p>PROJECT Lot 50, DP253666</p> <p>PROPOSED ALTERATIONS & ADDITIONS 327 BURRANEER ROAD COOMBA PARK</p> <p>FOR: MR & MRS D.M CALGARO</p> <p>Drawing Name FLOOR PLAN (SHED)</p>	<p>SCALE 1:100/A3</p> <p>DATE MAR 2024</p>	<p>NORTH POINT</p> <p>DRAWING NO. A17</p>	<p>JOB NO. 2404</p> <p>AMEND A</p>	

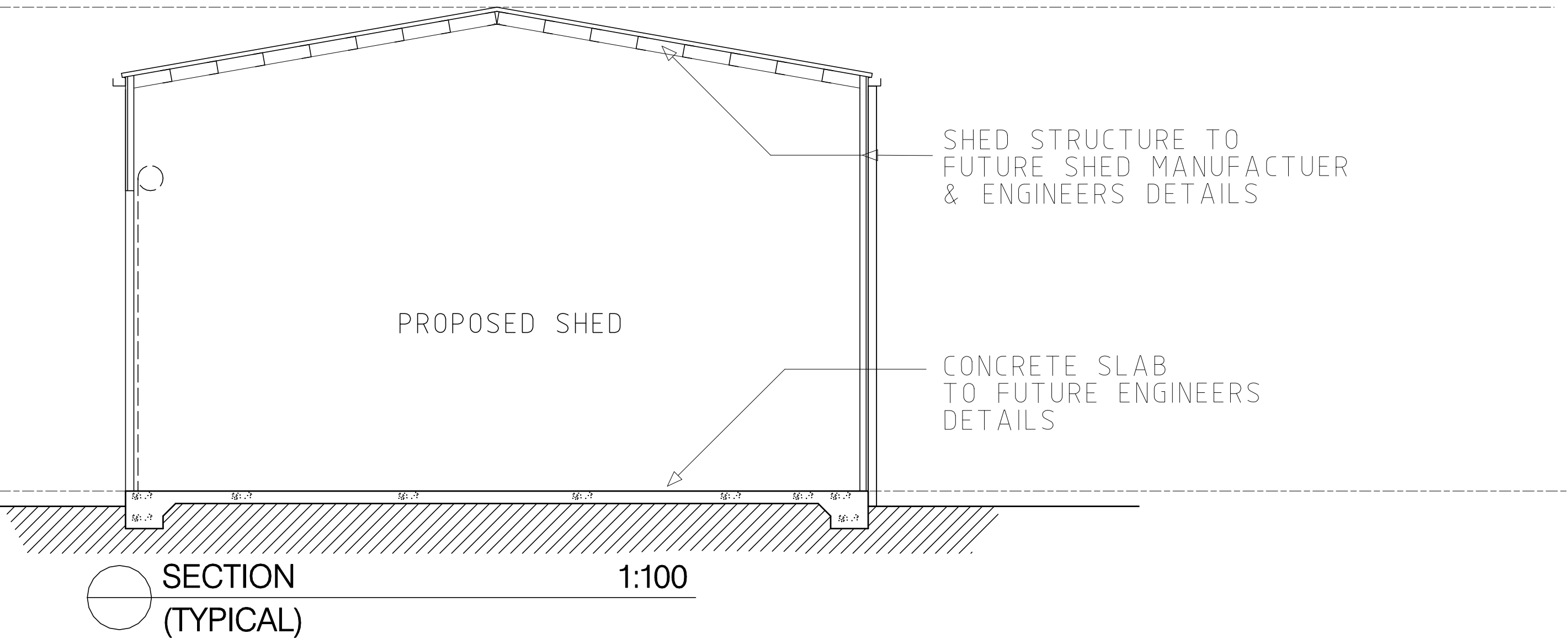
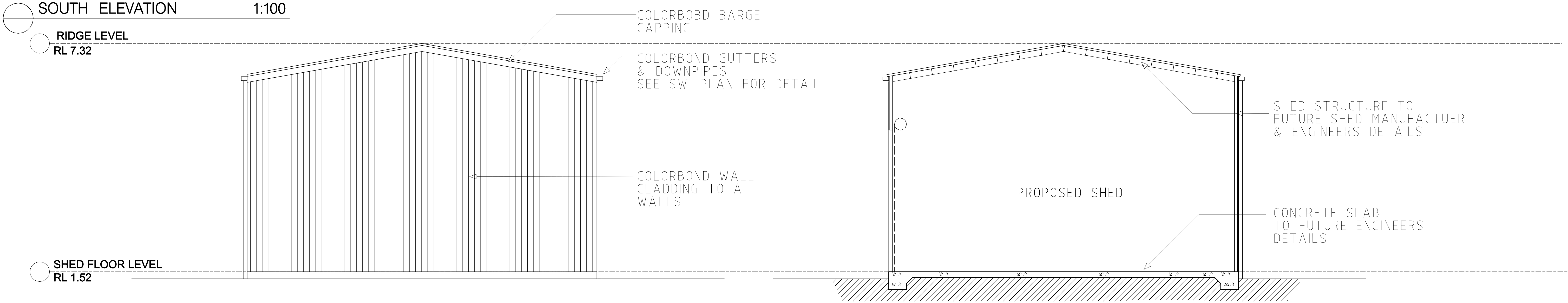
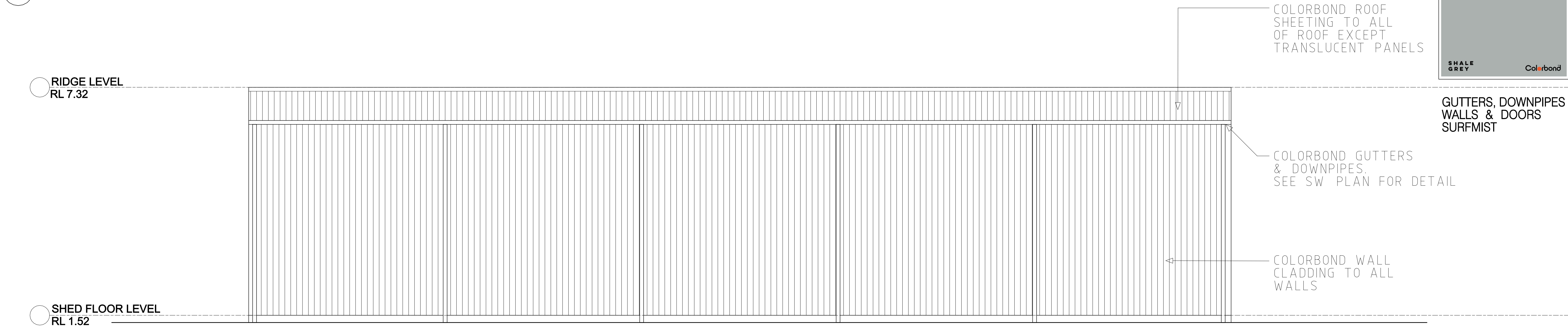
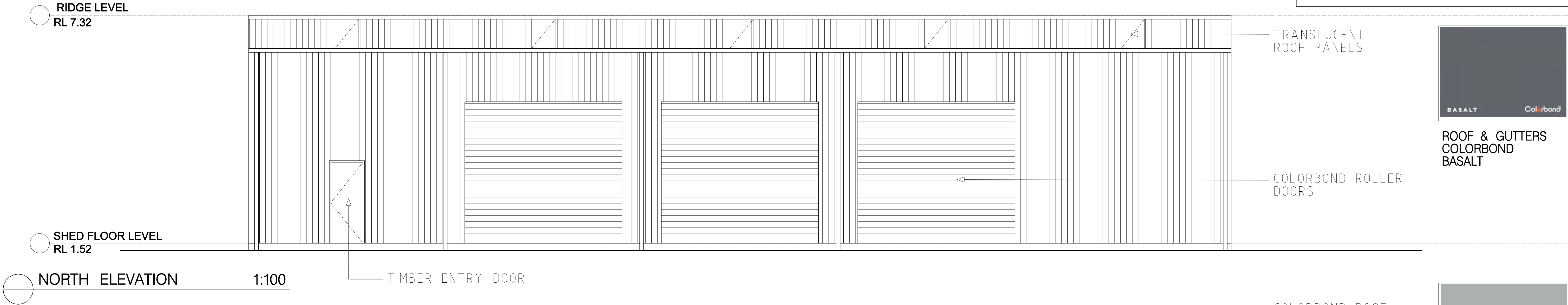
BUSHFIRE NOTES: SITE IDENTIFIED AS BAL-29.
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ROOF PLAN (SHED) 1:100

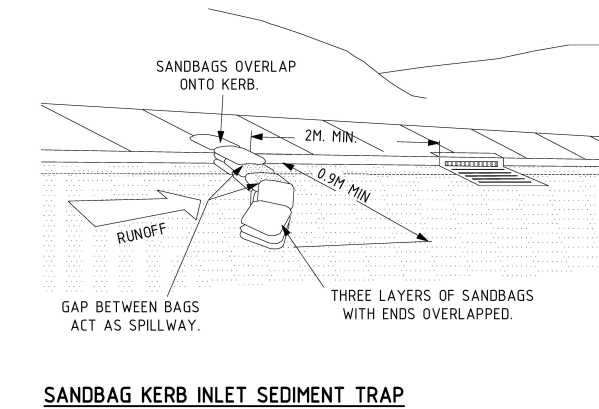
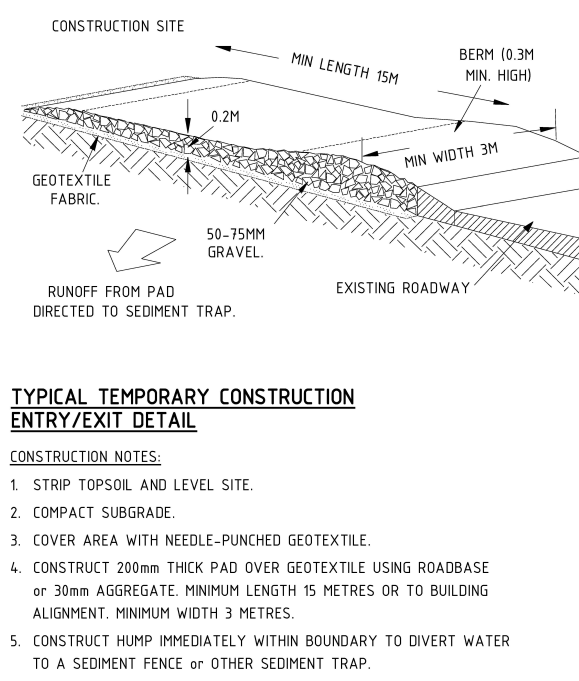
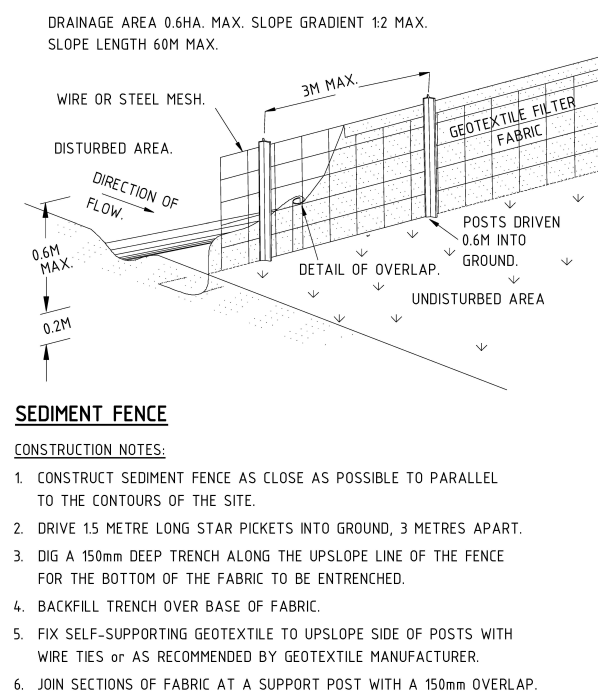
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							FOR: MR & MRS D.M CALGARO	DATE	DRAWING NO.	AMEND
		Drawing Name	MAR 2024	A18	A					
</										

BUSHFIRE NOTES: SITE IDENTIFIED AS BAL-29.
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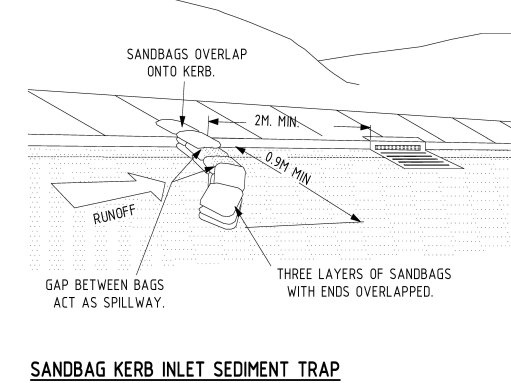
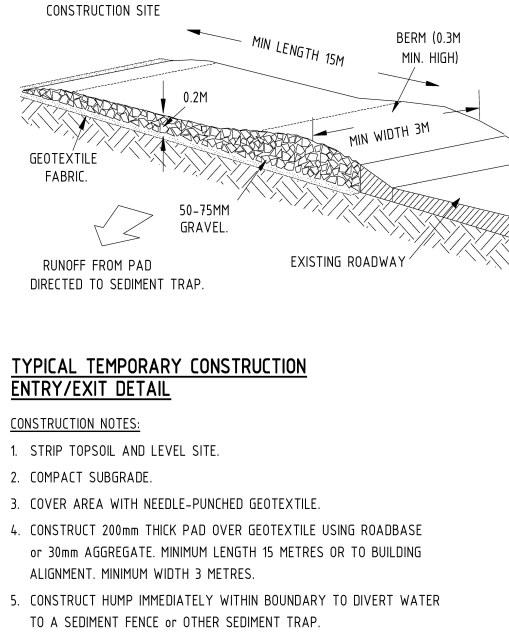
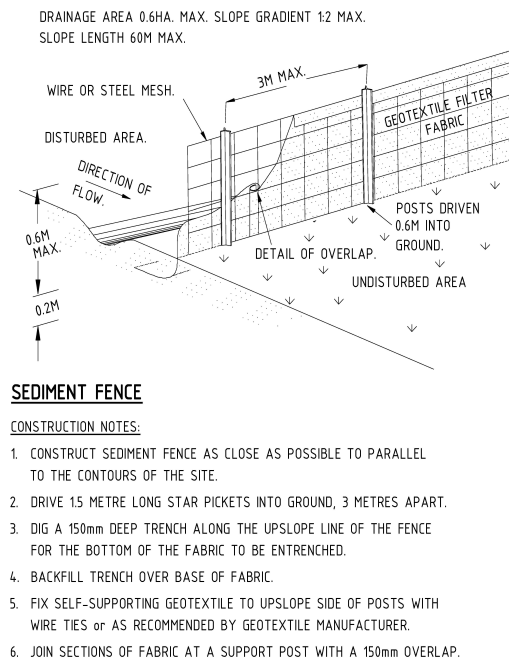
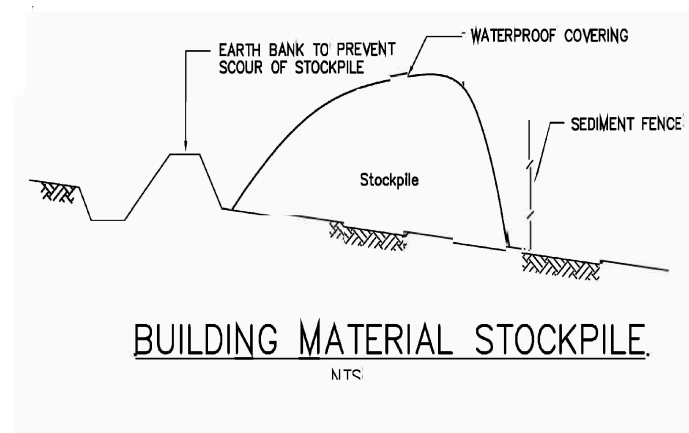
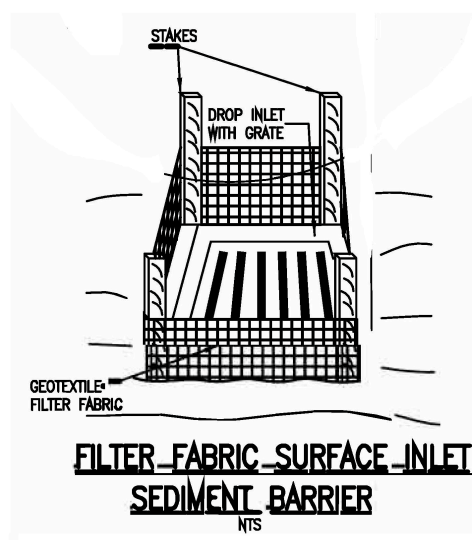
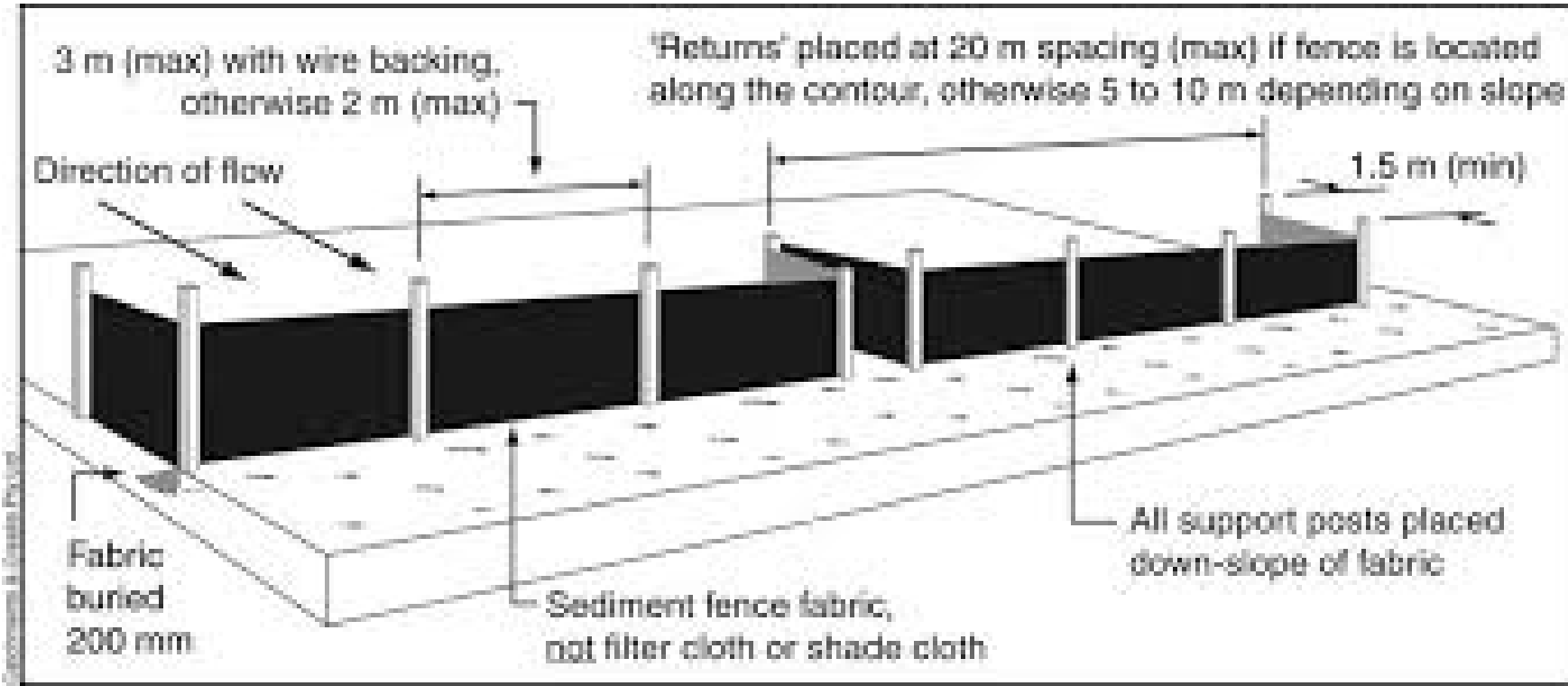
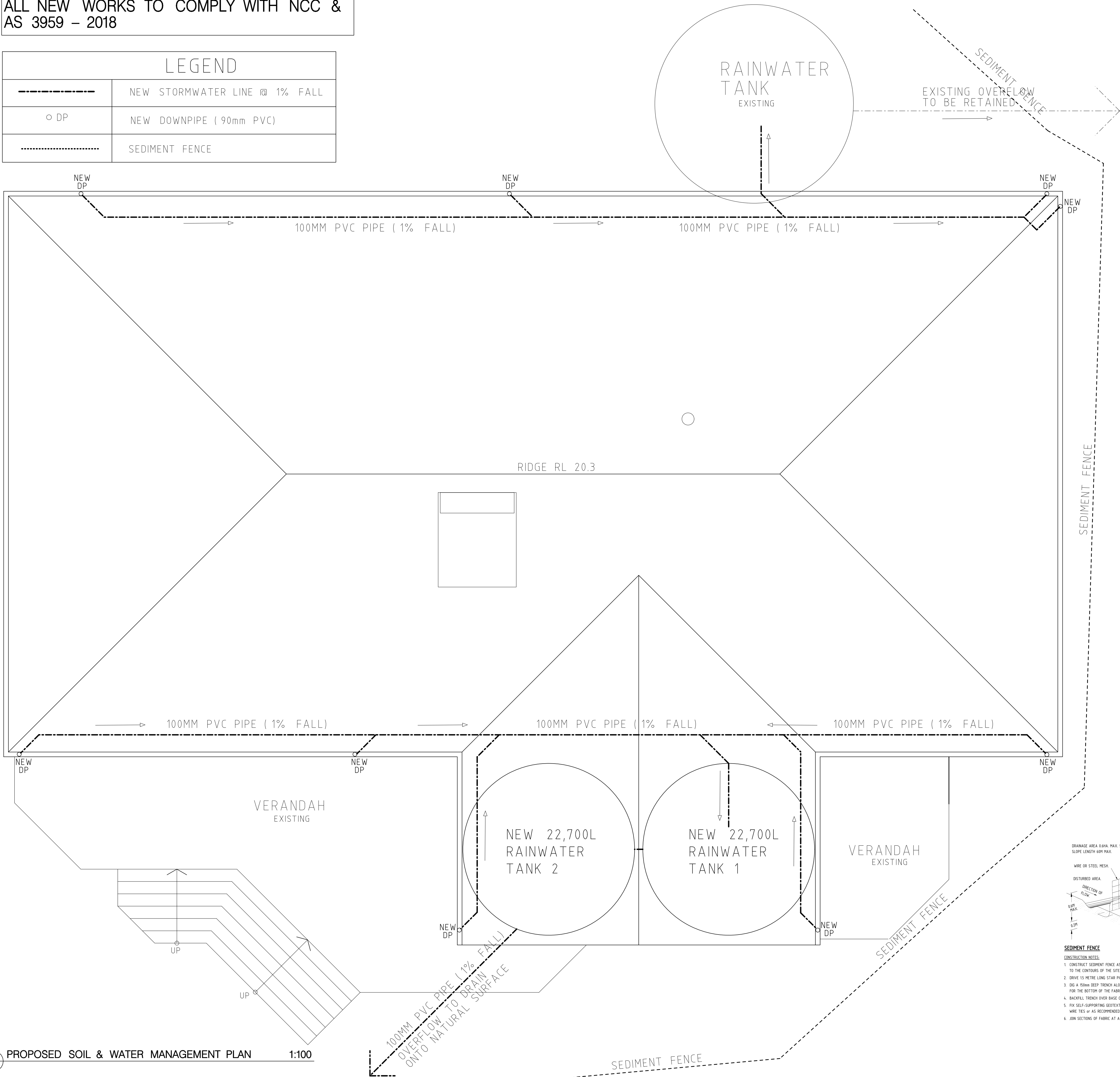


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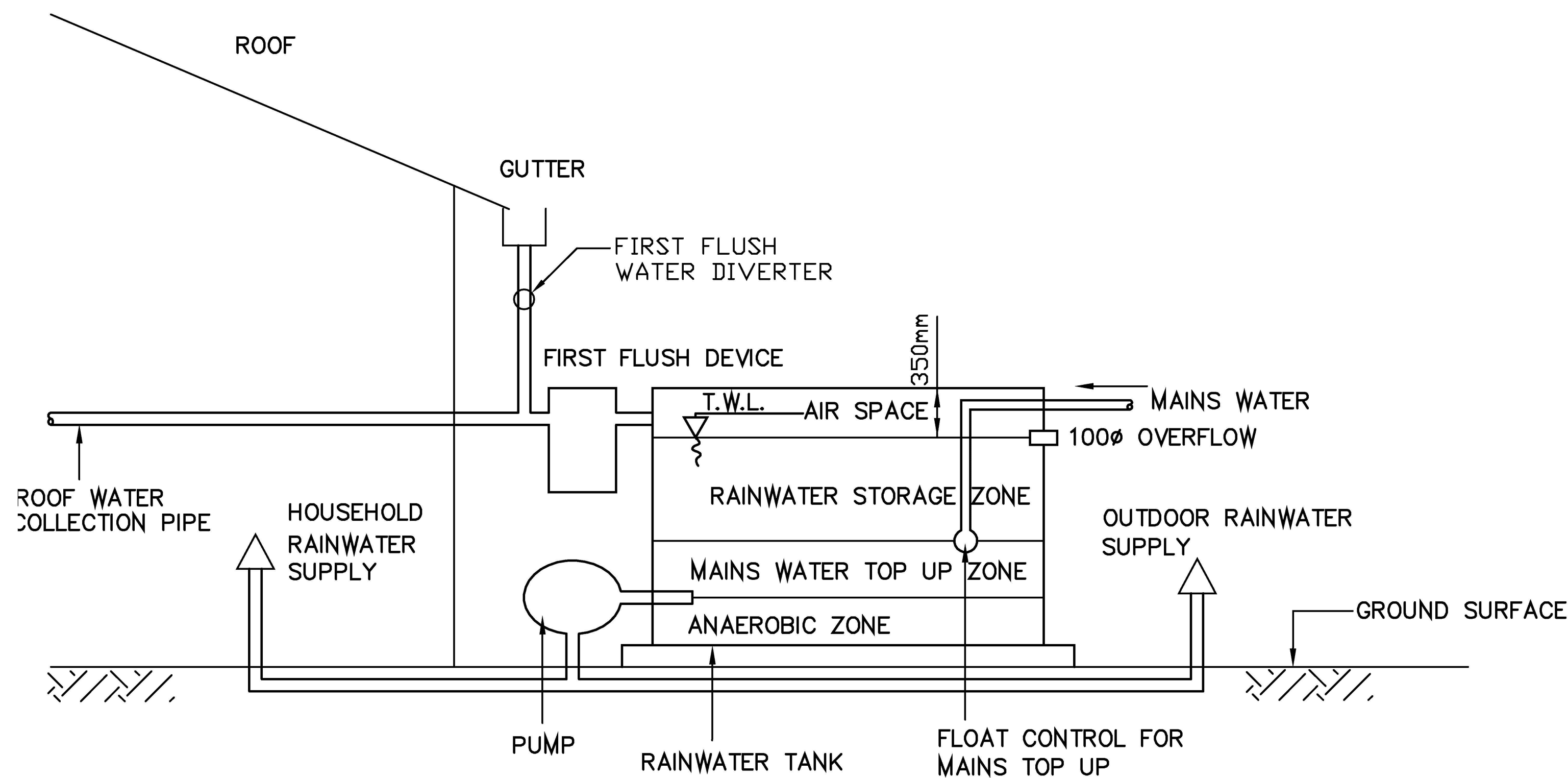
LEGEND	
-----	NEW STORMWATER LINE @ 1% FALL
○ DP	NEW DOWNPIPE (90mm PVC)
.....	SEDIMENT FENCE



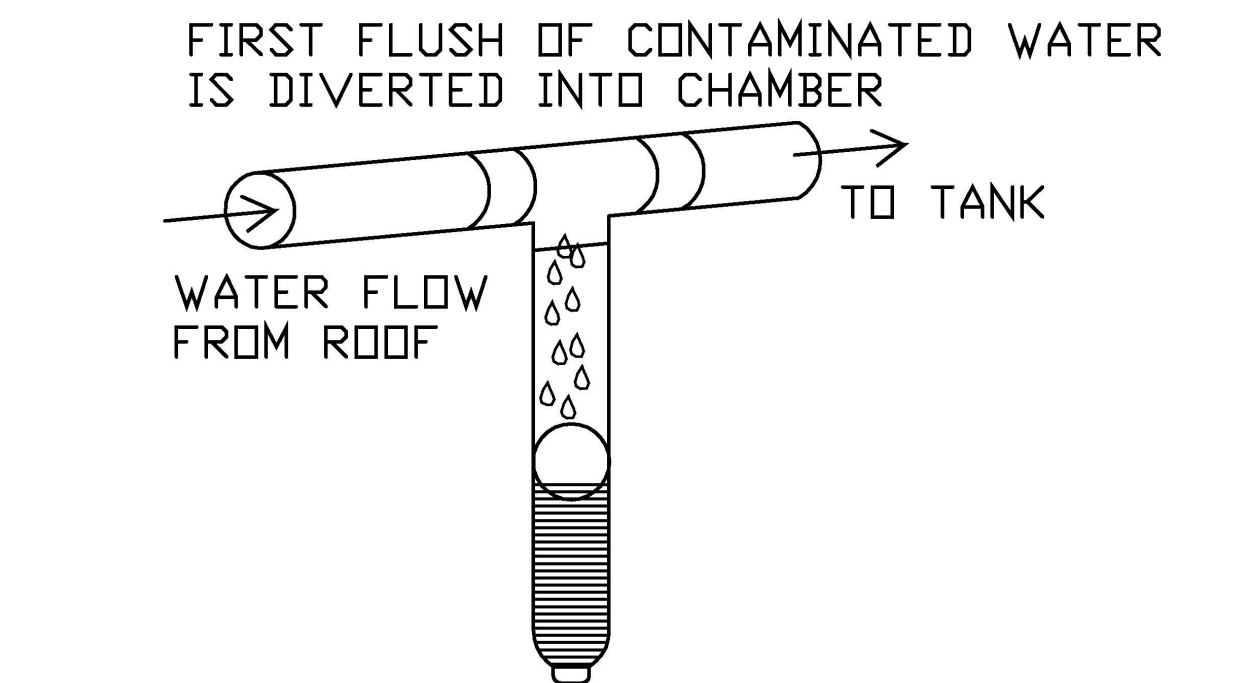
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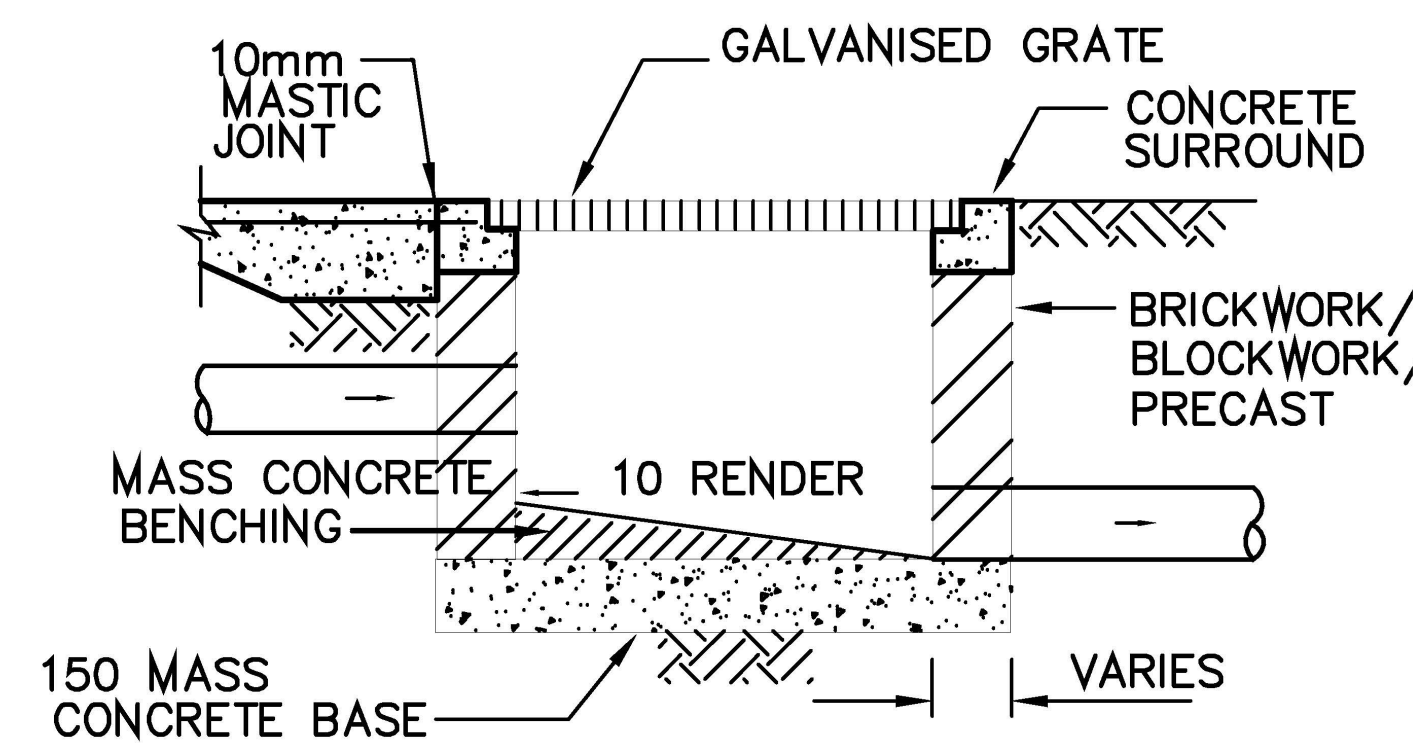
LEGEND	
	NEW STORMWATER LINE @ 1% FALL
	NEW DOWNPIPE (90mm PVC)
	SEDIMENT FENCE



RAINWATER TANK DETAIL



FIRST FLUSH WATER DIVERTER DETAIL
NOT TO SCALE



TYPICAL PIT DETAIL

RAINWATER TANK NOTES:

1. CAPACITY
RAINWATER TANKS HAVE A CAPACITY OF 2000L OR GREATER IN ACCORDANCE WITH BASIX CERTIFICATE..
2. RAINWATER CONNECTION
TANK WATER WILL BE PLUMBED TO TOILETS, AN OUTLET IN THE LAUNDRY FOR WASHING MACHINES AND ALL OUTDOOR WATERING TAPS (OTHER THAN ONE MAINS TAP NEAR THE WATER METER) TO BASIX REQUIREMENTS.
3. FIRST FLUSH
'FIRST FLUSH' DEVICE WILL BE FITTED TO REMOVE SURFACE CONTAMINATION.
4. NON DRINKING
TANK WATER WILL NOT BE CONNECTED TO DRINKING OR BATHING WATER OUTLETS.
5. FULLY ENCLOSED
TANKS WILL BE FULLY ENCLOSED AND SEALED TO PREVENT ACCESS BY MOSQUITOES.
6. NON REFLECTIVE FINISH
TANKS SURFACES WILL HAVE NON REFLECTIVE FINISH.
7. WARNING LABELS
A LABEL WILL BE AFFIXED TO THE TANKS WARNING THAT WATER IS NOT TO BE CONSUMED AND RAINWATER SIGNAGE WILL BE PLACED ABOVE ALL TANK WATER OUTLETS.
8. ROOFING MATERIALS
THE ROOF SURFACE FROM WHICH RAINWATER IS BEING DRAWN WILL NOT CONTAIN LEAD, TAR, ASBESTOS OR PAINTS
9. BASE
TANKS WILL BE BUILT ON A SELF SUPPORTING BASE (ABOVE TANKS GROUND ONLY)
10. WATER PRESSURE
TANKS WILL BE FITTED WITH SMALL MOTORISED PUMP TO PROVIDE ACCEPTABLE WATER PRESSURE.
11. PUMP NOISE
PUMP WILL BE DESIGNED AND LOCATED NOT TO CAUSE A NOISE DISTURBANCE TO NEIGHBOURS (GENERALLY NOT 5 dBA ABOVE BACKGROUND NOISE)
12. INSTALLATION
WILL BE INSTALLED BY A LICENSED PLUMBER IN ACCORDANCE WITH SYDNEY WATER REQUIREMENTS AND THE NSW CODE OF PRACTICE: PLUMBING AND DRAINAGE
13. BACK FLOW PREVENTION
A BACK FLOW PREVENTION DEVICE WILL BE PROVIDED AT THE MAINS WATER METER
14. DUAL SUPPLY
A TRICKLE TOP-UP SYSTEM OR EQUIVALENT WILL BE PROVIDED AT THE MAINS WATER.
15. BACK UP SUPPLY
A BACK UP SUPPLY OF MAINS WATER WILL BE PROVIDED IN EVENT OF FAILURE OR MAINTENANCE.
16. ANAEROBIC ZONE
WATER WILL BE DRAWN FROM ABOVE THE ANAEROBIC ZONE OF TANKS.
17. TANK CONSTRUCTION
TANKS WILL BE STRUCTURALLY SOUND AND CONSTRUCTED IN ACCORDANCE WITH AS/NZ3500.1.2-1998 NATIONAL PLUMBING AND DRAINAGE-WATER SUPPLY-ACCEPTABLE SOLUTIONS.
18. AIR GAP
TANKS WILL BE PROVIDED WITH AN AIRGAP IN ACCORDANCE WITH AS/NZ3500.1.2 AND AS2845.2
19. ON GOING MAINTENANCE
TANKS WILL BE WELL KEPT AND MAINTAINED.

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	A							<p>DATE</p> <p>MAR 2024</p>	<p>DRAWING NO.</p> <p>A14</p>